

GENERAL NOTES (NCC 2022):

- THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, BUILDING REGULATIONS 2018, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS APPLICABLE.
- THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF DZIGN DRAFTING, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF DZIGN DRAFTING DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- THE APPROVAL BY DZIGN DRAFTING OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTAION.
- DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR CONTACT DZIGN DRAFTING IMMEDIATELY.
- ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.
- THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.
- THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS.
- WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS, ALL REFERENCED DOCUMENTS AND ALL OTHER DOCUMENTATION PROVIDED.
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

AUSTRALIAN STANDARDS:

- THE VERSION OF ALL AUSTRALIAN STANDARDS NOTED ARE TO BE THE ONES REFERENCED BY THE NCC IN EFFECT.
- ALL WORKS SHALL COMPLY WITH THE NCC IN EFFECT AND NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD REFERENCED BY THE NCC IN EFFECT:
 - AS1288 - GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS (2021)
 - AS1562 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING (PART 1 2018)
 - AS1684 - NATIONAL TIMBER FRAMING CODE (PART 2 & 3 2021) (PART 4 2010)
 - AS1860 - INSTALLATION OF PARTICALBOARD FLOORING (2006)
 - AS2047 - WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS (2014)
 - AS2049 - ROOF TILES (2002)
 - AS2050 - INSTALLATION OF ROOFING TILES (2018)
 - AS2870 - RESIDENTIAL SLABS AND FOOTING CONSTRUCTION (2011)
 - AS2904 - DAMP PROOF COURSES AND FLASHINGS (1995)
 - AS3600 - CONCRETE STRUCTURES (2018)
 - AS3660 - TERMITE MANAGEMENT (PART 1 & 3 2014)
 - AS3700 - MASONRY STRUCTURES (2018)
 - AS3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS (2021)
 - AS3786 - SMOKE ALARMS (2014)
 - AS4100 - STEEL STRUCTURES (2020)

GENERAL:

- ARCHITECTURAL PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND CIVIL ENGINEERING COMPUTATIONS, DRAWINGS, AND SOIL REPORTS.
- FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
- FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND UNLESS OTHERWISE NOTED, EASEMENT LINES.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
- THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE AT ALL TIMES. TEMPORARY FENCING SHALL BE USED AND LOCKED WHEN UNATTENDED. ALL HAZARDS TO BE SIGNED AND MARKED AT ALL TIMES.

GLAZING:

- GLAZING SHALL COMPLY WITH AS1288, AS2047 & AS4055 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING:
 - ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR
 - BATHROOMS WITHIN 1500MM VERTICAL FROM THE BATH BASE
 - LAUNDRY WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ALL DOORS
 - DOORWAY WITHIN 300MM HORIZONTAL FROM ALL DOORS.
 - SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS
- ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER.

STRUCTURAL:

- ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS3600.
- ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.
- ALL DAMP PROOF COURSES AND FLASHINGS MUST BE IN ACCORDANCE WITH AS2904.
- STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS4100.
- ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS1684.
- PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS1684.
- CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS.
- PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FOOTING OR 450MM WHERE IN TERMITE PRONE AREA.
- SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLYNTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.

ROOF TRUSSES:

- ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS AND CERTIFICATION ARE TO BE PROVIDED PRIOR TO MANUFACTURE.

SUB FLOOR:FLOOR:

- ALL SUB-FLOOR CONSTRUCTION AS PER ENGINEERS DESIGN & SPECIFICATIONS.

LIGHTING:

- ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680-2009 AND INSTALLED IN ACCORDANCE WITH NCC H6D2 AND ABCB HOUSING PROVISION 13.7.6

STAIRS, LANDINGS & BALUSTRADES:

- STAIRS, STAIRWAYS AND BALUSTRADES TO COMPLY WITH NCC H5D2, H5D3 AND ABCB HOUSING PROVISION 11.2, 11.3
- STAIR REQUIREMENTS (OTHER THAN SPIRAL STAIRS):
 - RISERS 190MM MAXIMUM, 115MM MINIMUM;
 - GOING 355MM MAXIMUM; 240MM MINIMUM;
 - PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
 - PROVIDE SLIP-RESISTANT FINISH OR NOSING STRIP IN ACCORDANCE WITH ABCB HOUSING PROVISION 11.2.4
 - ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 120MM OR USE CLOSED RISES.
 - PROVIDE MINIMUM HANDRAIL HEIGHT OF 865MM ABOVE STAIR NOSINGS AND 1000MM ABOVE LANDINGS.
 - PROVIDE MINIMUM HANDRAIL HEIGHT OF 1000MM ABOVE ABOVE LANDINGS, BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL.
 - MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 120MM.
 - CONTINUOUS HANDRAIL TO BE INSTALLED TO ONE SIDE OF STAIR IN ACCORDANCE WITH ABCB HOUSING PROVISION 11.3.5

THRESHOLDS:

- IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900MM WIDE X 900MM LONG, WHICHEVER IS GREATER.

INSULATION:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR.
- PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.
- EXHAUST FANS TO BE SELF-CLOSING AND ALL LIGHTS ARE TO BE SEALED.
- PROVIDE WEATHERSTRIP TO ALL EXTERNAL DOORS.

TERMITE PREVENTION:

- WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, PROVIDE PART A AND PART B TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1.

CORROSION:

- ALL EXPOSED STEEL TO BE GALVANISED IN ACCORDANCE TO AS/NZS2699.
- FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALTWATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS, WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.
- PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH NCC H1D6 AND ABCB HOUSING PROVISION 6.3.2
- PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH NCC H1D7 AND ABCB HOUSING PROVISION 7.2.2

BUSHFIRE DESIGN INFORMATION:

- THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE, IF IN A BUSHFIRE PRONE AREA. THE REPORT REFERS TO AS3959 WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT CONTACT 9PM DESIGN PTY LTD IMMEDIATELY.

STORM WATER AND DRAINAGE:

- STORMWATER SHALL COMPLY WITH AS/NZS3500.3
- STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
- SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH AS.3500 ANDTHE RELEVANT AUTHORITIES REQUIREMENTS
- INSPECTION OPENINGS TO BE AT 9000mm CTRS AND AT EACH CHANGE OF DIRECTION.
- PROVIDE 100mm DIA UPVC PIPES
- PROVIDE 75mm DIA DOWNPIES
- PROVIDE A MINIMUM FALL GRADIENT OF 1:100
- BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER.
- THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:
 - 100mm UNDER SOIL.
 - 50mm UNDER PAVED OR CONCRETE AREAS
 - 100mm UNDER NON-REINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75mm UNDER REINFORCED CONCRETE DRIVEWAYS
 - ALL BOX GUTTERS TO BE A MINIMUM OF 300mm WIDE x 150mm DEEP UNLESS OTHERWISE SPECIFIED AND MINIMUM1:100 GRADIENT.
 - ALL SURFACE WATER RUN-OFF MUST BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND DISCHARGED TO THE STORM WATER SYSTEM.
 - THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

WATERPROOFING:

- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS3740.

VENTILATION:

- MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH NCC H4D7 AND ABCB HOUSING PROVISION 10.6.2
- DUCT ALL EXHAUST FANS TO OUTSIDE AIR AND IN ACCORDANCE WITH AS1668.

MASONRY:

- MASONRY TO COMPLY WITH AS3700 AND AS4773 WHERE APPLICABLE.
- PROVIDE WALL TIES TO BRICKWORK AS PER NCC H1D5 AND ABCB HOUSING PROVISION 5.3.7

SANITARY COMPARTMENT DOORS:

- SANITARY COMPARTMENT DOORS MUST EITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE VIA LIFT-OFF HINGE UNLESS A MINIMUM CLEARANCE OF 300mm BETWEEN SWING OF THE DOOR AND THE WC PAN IS ACHIEVED.

SMOKE ALARMS:

- SMOKE ALARMS LOCATIONS AND INSTALLATION TO BE IN ACCORDANCE WITH AS3786, NCC H3D6 AND ABCB HOUSING PROVISION 9.5.1
- ALL SMOKE ALARMS WITHIN A DWELLING SHALL BE HARD WIRED TO MAINS POWER AND INTERCONNECTED.

FLOORING:

- FLOOR FINISHES NOTED ARE NOMINAL AND ARE TO BE CONFIRMED BY THE CLIENT PRIOR TO CONSTRUCTION:
- TB. FLOOR BOARDS
- CP. CARPET
- CT. CONCRETE
- TL. TILE FLOORING
- TD. TIMBER DECKING

ROOF FRAMING:

- ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS AND CERTIFICATION ARE TO BE APPROVED PRIOR TO MANUFACTURE.
- ROOF BATTENS UNLESS OTHERWISE SPECIFIED:
 - 38x75 F8 HW AT 330 CTRS (TILE)
 - 38x75 F8 HW AT 900 CTRS (COLORBOND, TRIMDEK, KLIPLOK)

EXTERNAL FINISHES:

- EXTERNAL FINISHES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS WHERE APPLICABLE.
- ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AUSTRALIAN STANDARDS.

INTERNAL WALL & CEILING FINISHES:

- PAINTED 10mm PLASTERBOARD TO ALL INTERNAL WALLS (DIMENSIONS SHOWN TO STRUCTURE)
- PAINTED 10mm PLASTERBOARD TO ALL INTERNAL CEILINGS (DIMENSIONS SHOWN TO STRUCTURE)
- CLIENT TO SPECIFY SQUARE SET FINISH OR CORNICE FOR EACH ROOM.
- PROVIDE CONTROL JOINTS AS PER MANUFACTURER'S REQUIREMENTS.

WET AREAS:

- ALL WET AREAS TO COMPLY WITH NCC H4D2, ABCB HOUSING PROVISION 10.2.1 AND AS3740
- WALL FINISHES SHALL BE WATER RESISTANT TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.
- FLOORING IN AREAS ADJACENT TO BATHS AND SPAS AND OUTSIDE SHOWER AREAS TO BE WATERPROOFED IN ACCORDANCE TO WITH ABCB HOUSING PROVISION 10.2.2 AND AS3740.

WINDOWS & DOORS:

- ALL WINDOW SIZES, TYPES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED DOCUMENTS.
- REFER TO ENERGY REPORT FOR GLAZING U & SGHC VALUES.
- - ALL WINDOWS, SLIDING DOORS ANDGLAZING TO COMPLY WITH AS1288 AND AS2047.
- ALL WINDOW AND SLIDING DOOR ULTIMATE LIMIT STATE & SERVICEABILITY LIMIT STATE TO COMPLY WITH AS4055.
- WINDOW HEAD HEIGHTS TO BE TAKEN TO NEAREST BRICK COURSE.
- WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES.
- BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY WHERE APPLICABLE.
- WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT 9PM DESIGN IMMEDIATELY.
- BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOULDING, TOP OF ROOF OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.
- "DG" DENOTES A WINDOW WHICH IS DOUBLE GLAZED.
- "OB" DENOTES A WINDOW WHICH IS OBCURED, FROSTED OR TRANSLUCENT AT 25% MAX TRANSPARENCY. CONFIRM WITH CLIENT UNLESS OTHERWISE STATED.
- "AFL" DENOTES A MEASUREMENT ABOVE THE FINISHED FLOOR LEVEL.
- " REST" DENOTES A RESTRICTED OPENING OF MAX 120MM.
- ALL WINDOWS ON FIRST FLOOR AND STOREYS HIGHER, AND ON ANY FLOOR WHICH LEVEL IS 1M ABOVE GROUND SURFACE LEVEL TO BE PROVIDED WITH A FALL BARRIER TO COMPLY WITH ABCB HOUSING PROVISION 11.3.7, 11.3.8
- ALL WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE UNLESS OTHERWISE STATED.
- INTERNAL DOORS ARE TO BE 2040MM HIGH UNLESS NOTED OTHERWISE.

WALL FRAMING:

- FRAMING MUST BE IN ACCORDANCE WITH AS1684 AND LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

ARTICULATION JOINTS:

- ALL ARTICULATION JOINTS ARE TO BE OF MIN. 10MM WIDE & IN ACCORDANCE WITH TN61 OF CCAA.
- A MIN. 10MM GAP IS TO BE PROVIDED WHEN AN ARTICULATION JOINT IS LOCATED NEXT TO A WINDOW

ABCB HOUSING PROVISION

- ABCB HOUSING PROVISION WHERE REFERRED TO IN THIS SET OF DRAWINGS IS ABBREVIATED TO "ABCB HP".

TIMBER FRAMING SCHEDULE (UNLESS NOTED OTHERWISE BY ENGINEER)					
FRAMING TIMBER		MAX. SPAN			
EFFECTIVE ROOF LENGTH - 12000		SUPP. AT 2 POINTS	CONT. OVER	MAX. SPACING	MAX. STRESS
CEILING HEIGHT - 2700					
MEMBER	SIZE		2 POINTS		GRADE
BOTTOM PLATE TOP PLATE STUDS - COMMON	90 x 45	600	600	-	F5
	90 x 70	600	600	-	F5
	90 x 35	2400	2400	600	F5
	90 x 35	2700	2700	600	F5
	90 x 45	3000	3000	450	F5
STUDS - AT SIDES OF OPENINGS	90 x 70	2400	2400	1200	F5
	90 x 90	2400	2400	1800	F5
	90 x 70	2700	2700	900	F5
	90 x 90	2700	2700	1500	F5
	90 x 70	3000	3000	2700	F17
LINTELS (REFER ROOF DESIGN)	90 x 35	1200	-	-	F17
	140 x 45	1600	-	-	F17
	190 x 45	2100	-	-	F17
	240 x 35	2400	-	-	F17
	240 x 45	2600	-	-	F17
	290 x 45	3100	-	-	F17
NOGGINS	70 x35	600	600	1350	F5
ROOF BATTENS	50 x 25	-	600	330	F8
BRACING METAL STRAP - REFER AS1684					
STRESS GRADE F17 REFERS TO SEASONED HARDWOOD					
STRESS GRADE F8 REFERS TO UN-SEASONED HARDWOOD					
STRESS GRADE F5 REFERS TO SEASONED RADIATA PINE					



Dzign Drafting Pty. Ltd.

ACN. 114 734 315

REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

Project

Proposed Cabin

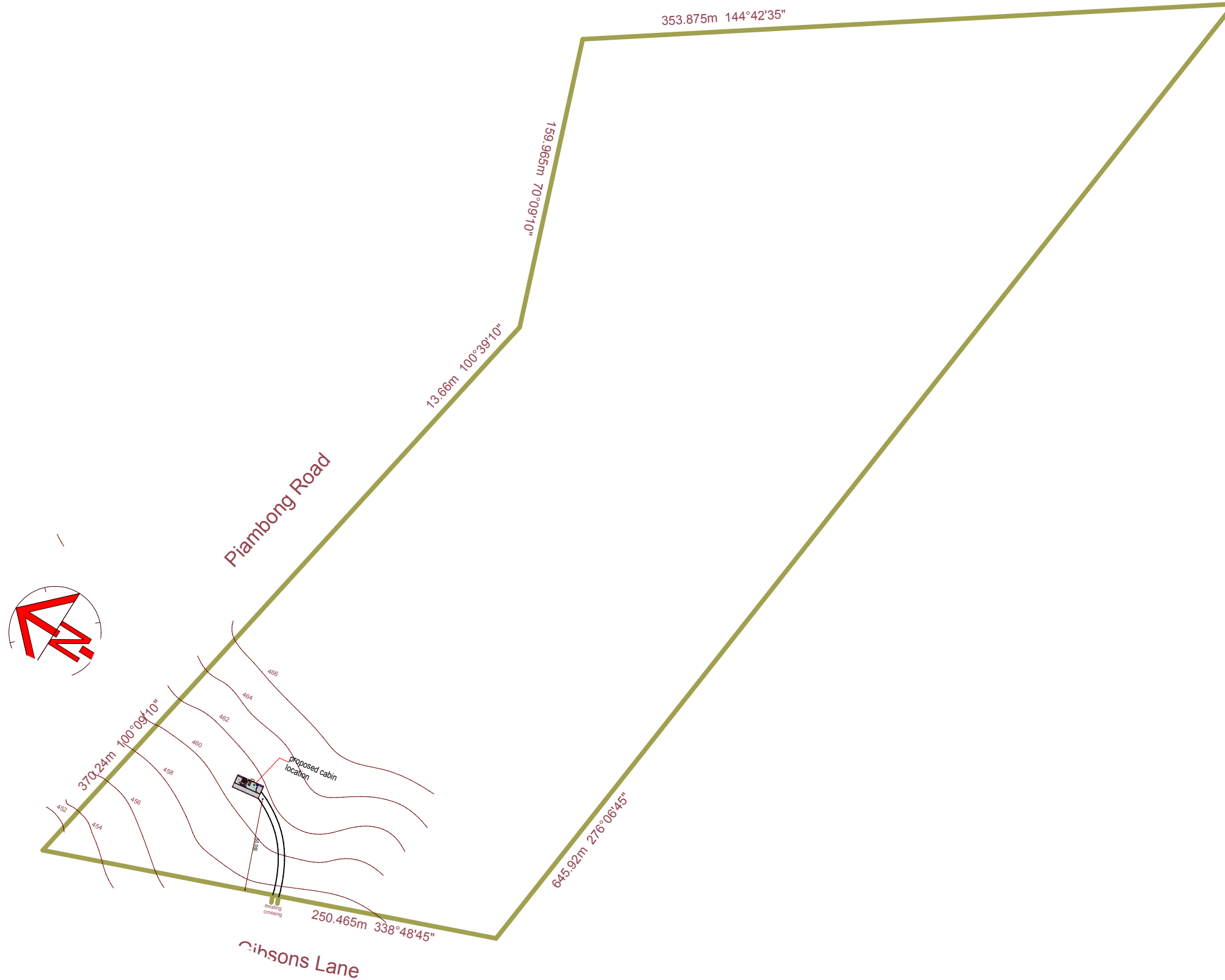
516 Gibsons Lane,
Piambong

Drawing

GENERAL NOTES

Date	Scale	Checked
27-11-25		
Ref. No.	Dwg No.	Revision
2437	01	WD





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Dzign Drafting Pty. Ltd.
ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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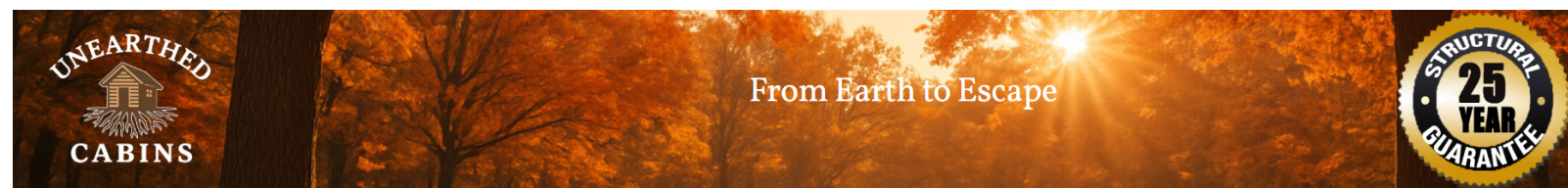
Proposed Cabin

516 Gibsons Lane,
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Drawing

SITE PLAN

Date	Scale	Checked
27-11-25	1:2500@A3	
Ref. No.	Dwg No.	Revision
2437	02	WD



570.24m 100°09'10"

404

462

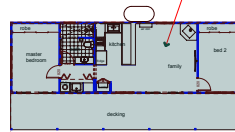
460

458

456

454

proposed cabin location



50,000

existing crossing



250.465m

Gibsons Lane



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Dzign Drafting Pty. Ltd.
ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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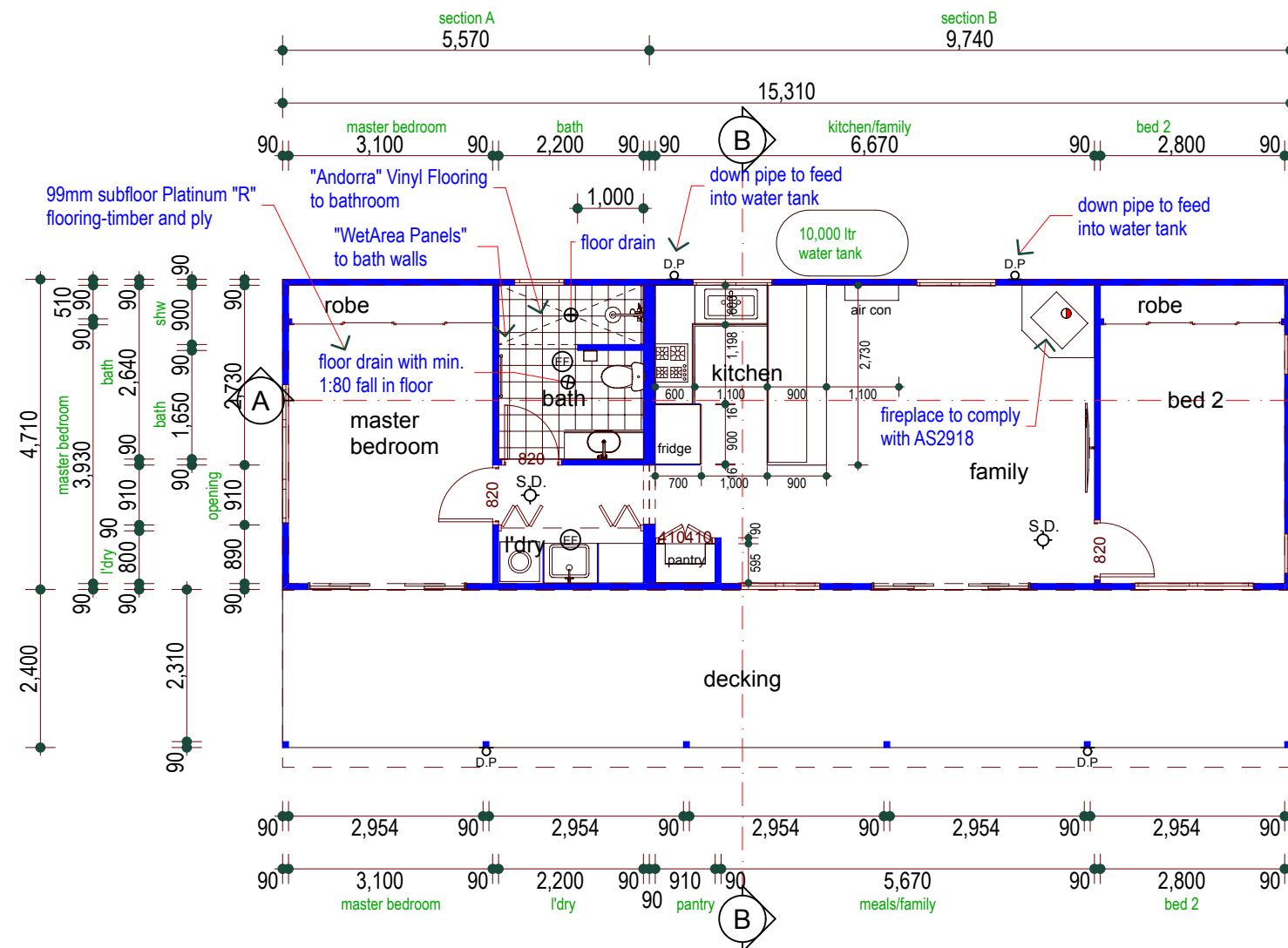
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Drawing

SITE PLAN

Date	Scale	Checked
27-11-25	1:500@A3	
Ref. No.	Dwg No.	Revision
2437	03	WD





D.P. down pipe
EF exhaust fan
S.D. smoke detector



CABIN FLOOR AREA: 72.11M²
DECKING AREA: 36.74M²
TOTAL AREA: 108.85M²

WINDOW NOTE

: sill heights are minimum
: use closest standard window sizes provided by the selected window manufacturer
: builder to allow for opening tolerances
: flyscreens to be verified by the builder
: provide glazing as per AS 1288 & AS2047
: provide obscure glass to bath and WC windows
: minimum 20mm high decals provided to full height glazing located between 700 and 1200mm from finished floor level

DOOR NOTE

: door types to be selected by the builder/owner
: all external doors to have security locks
: all robe doors to be selected the builder/owner
: doors to WC and ensuite to have lift off hinges

location of all existing down pipes to be verified on site and retained
new down pipes to be connected to existing SWD line as per relevant authorities approval
-location to be verified by builder prior to commencing any works

BALUSTRADING

:will be required to be designed to take loading forces in accordance with AS/NZS 1170.1.

WET AREAS

:all shower bases to be tiled
:Crommelin's Shower Waterproofing Membrane to be used to all wet areas
:tiled floors are required to all wet areas in accordance with AS3740-2010 (ensuite,wc,laundry,bathrooms, etc)
:All internal waterproofing to comply with AS3740:2021

SMOKE ALARMS

:each smoke alarm is to be connected to the consumer mains power and interconnected to each alarm
:Smoke alarms are to be provided between each part of the dwelling containing bedrooms in accordance with AS3786

NCC 2022 H4D7 & H4D9

ALL EXHAUST FANS & RANGEHOODS ARE TO BE VENTED TO OUTSIDE AIR DIRECTLY.

MINIMUM FLOW RATE:

- KITCHEN RANGEHOOD & LAUNDRY 40L/S
- BATHROOM, ENSUITE, WC & PDR 25L/S

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Dzign Drafting Pty. Ltd.

ACN. 114 734 315

REG. No. DP AD 23817

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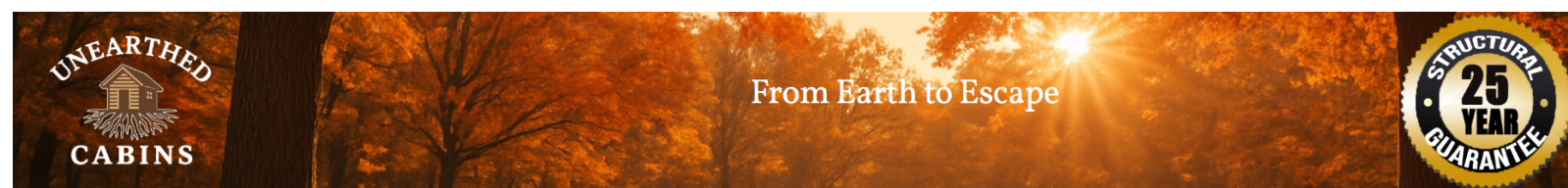
Proposed Cabin

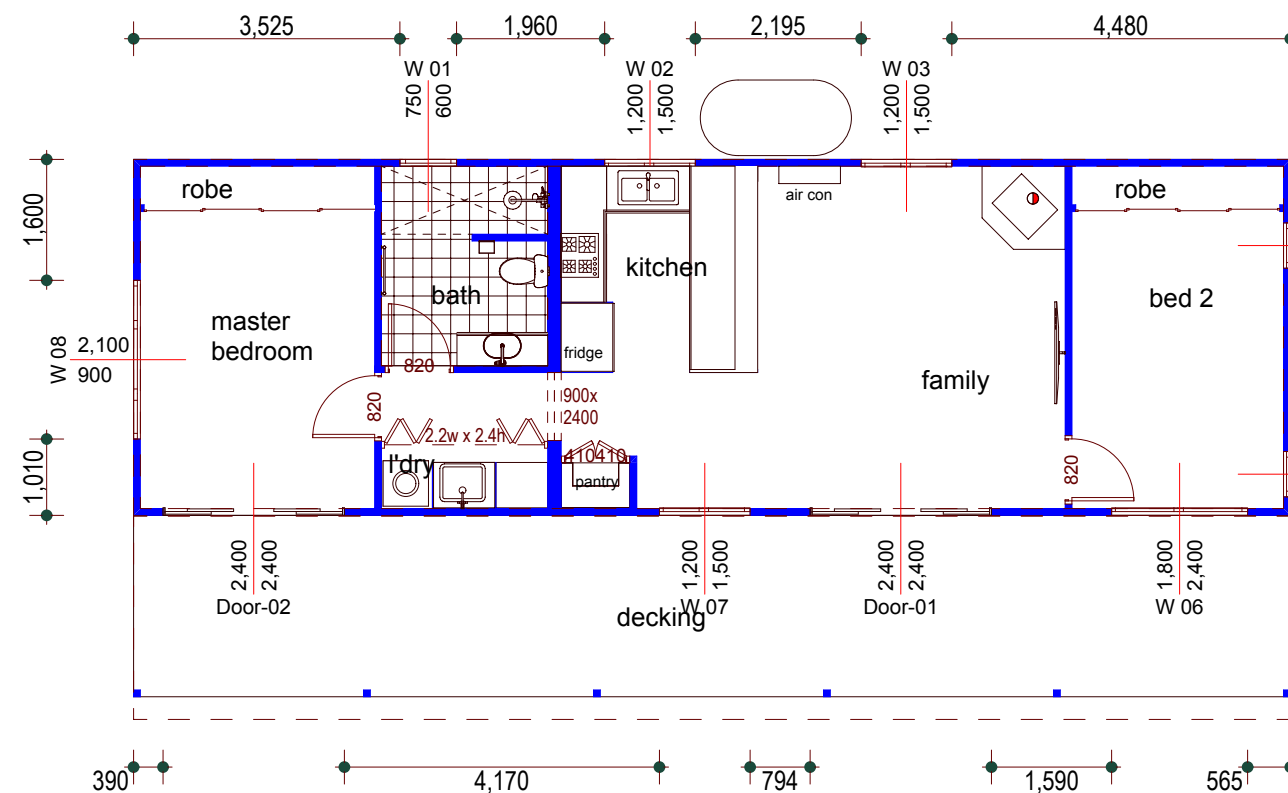
516 Gibsons Lane,
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Drawing

FLOOR PLAN

Date	Scale	Checked
27-11-25	1:100@A3	
Ref. No.	Dwg No.	Revision
2437	04	WD





- WINDOW NOTE**
- : sill heights are minimum
 - : use closest standard window sizes provided by the selected window manufacturer
 - : builder to allow for opening tolerances
 - : flyscreens to be verified by the builder
 - : provide glazing as per AS 1288 & AS2047
 - : provide obscure glass to bath and WC windows
 - : minimum 20mm high decals provided to full height glazing located between 700 and 1200mm from finished floor level
- DOOR NOTE**
- : door types to be selected by the builder/owner
 - : all external doors to have security locks
 - : all robe doors to be selected the builder/owner
 - : doors to WC and ensuite to have lift off hinges

Door List				
ID	Door Name	W x H Size	2D Symbol	3D Front View
Door-01	Sliding glass door	2,400×2,400		
Door-02	Sliding glass door	2,400×2,400		

Window List				
ID	Height	Width	2D Symbol	3D Front View
W 01	600	750		
W 02	1,500	1,200		
W 03	1,500	1,200		
W 04	1,800	600		
W 05	1,800	600		
W 06	2,400	1,800		
W 07	1,500	1,200		
W 08	900	2,100		

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E-mail daniel@dzigndrafting.com.au

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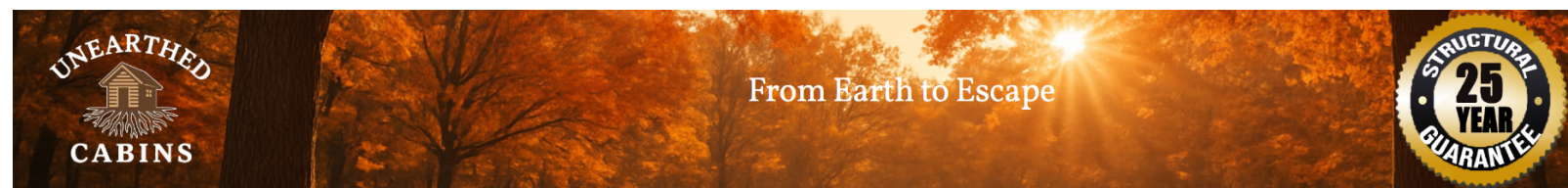
Proposed Cabin

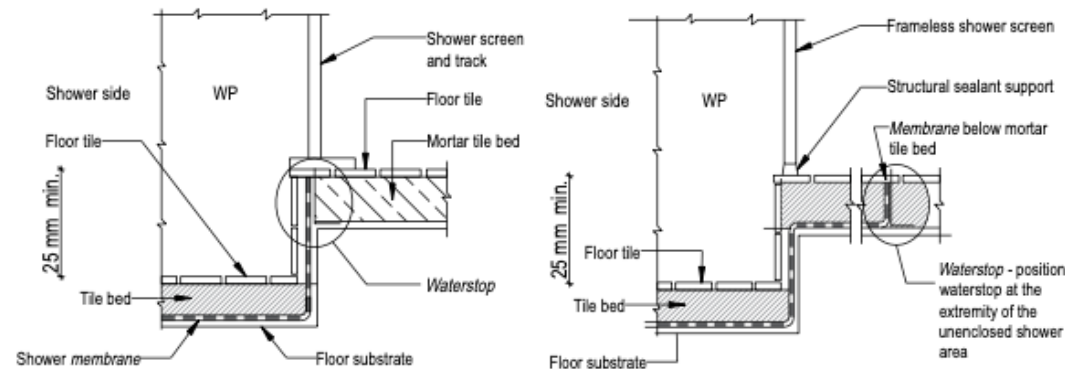
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WIN/DOOR SCHED

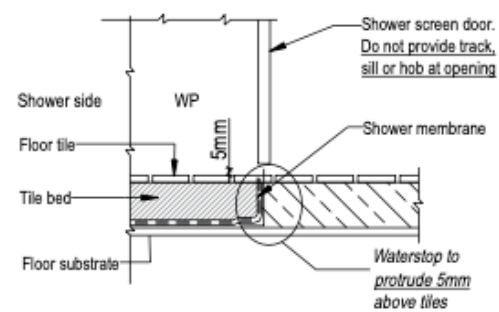
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2437	05	WD



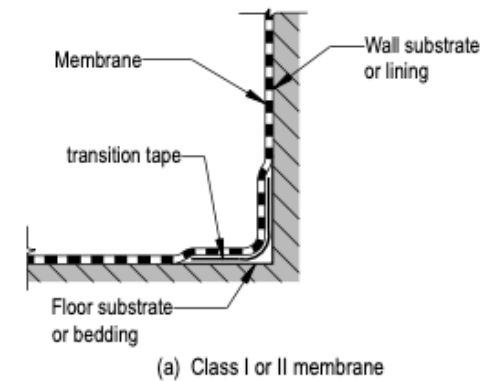


Reproduced from NCC 2022 Part 10.2 of the ABCB Housing Provisions Standard 2022, Australian Building Codes Board

EXTRACT FROM NCC2022 HP 10.2.1.5: REQUIREMENTS FOR STEPDOWN SHOWERS



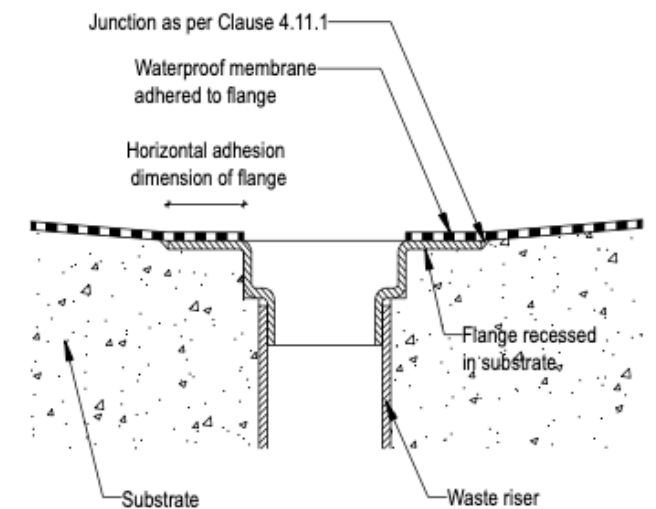
REQUIREMENTS FOR HOBLESS SHOWERS



MINIMUM BOND BREAKER 100MM WHEN ELONGATION BETWEEN 10% TO 50%

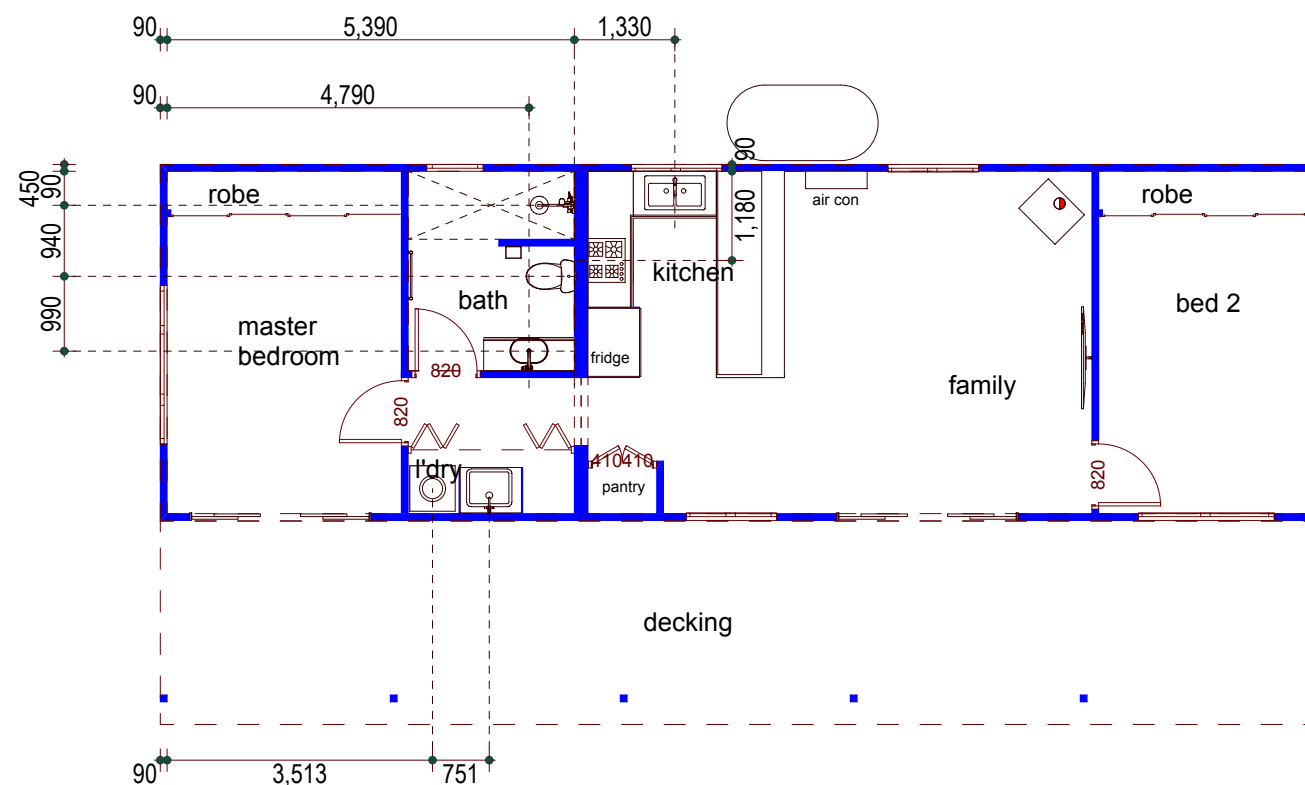
PARTICLEBOARD SHEETING TO AS/NZS 1860 IS AS/NZS 1860 IS NOT ALLOWED BE USED AS A SUBSTRATE MATERIAL UNDER AS3740:2021

EXTRACT FROM AS 3740:2021 BOND BREAKERS



WATERPROOFING MEMBRANE IS BONDED ONTO THE LEAK CONTROL FLANGE AND THE MEMBRANE IS TERMINATED HORIZONTALLY OR VERTICALLY AT THE FLANGE

EXTRACT FROM AS 3740:2021 MEMBRANE TO DRAINAGE FLANGE



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Dzign Drafting Pty. Ltd.
ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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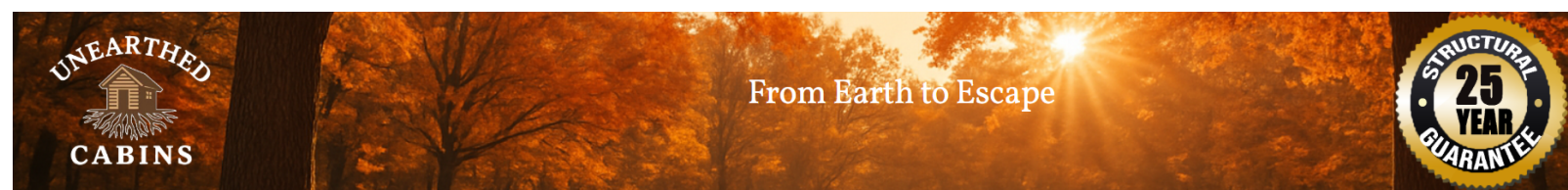
Proposed Cabin

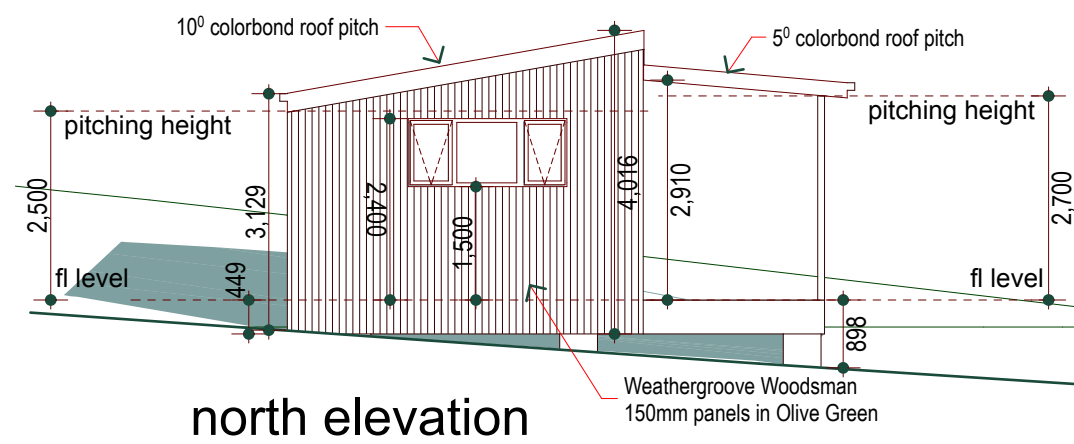
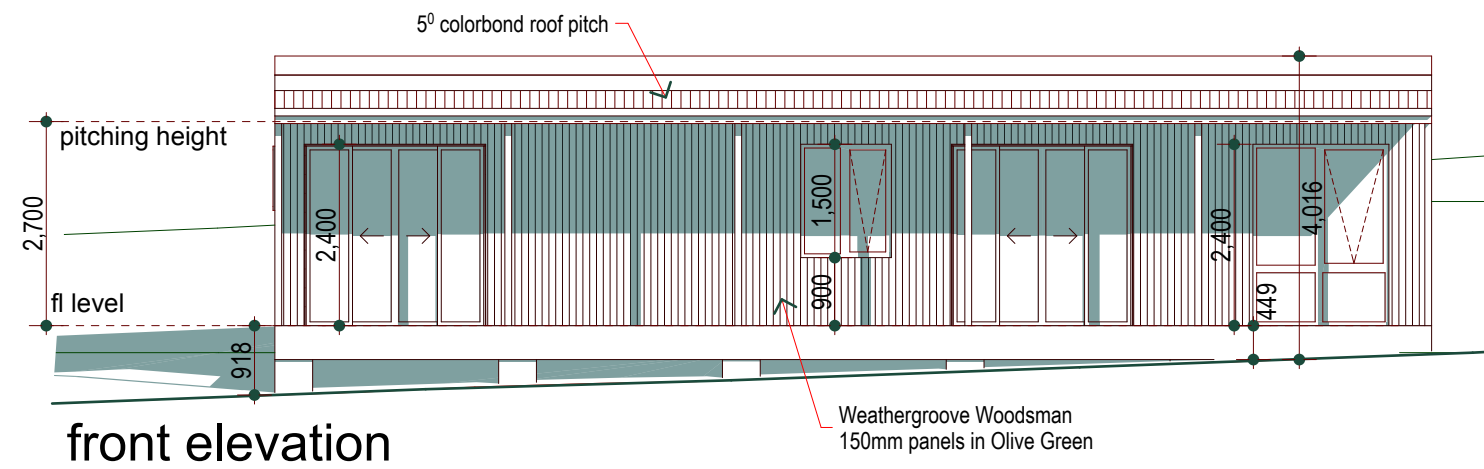
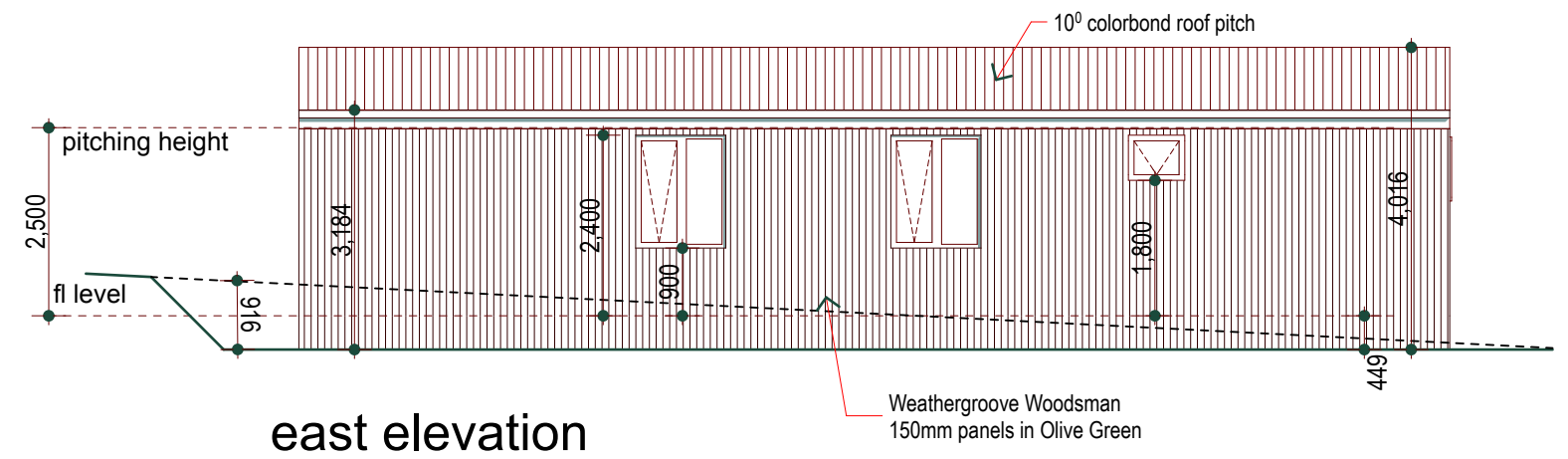
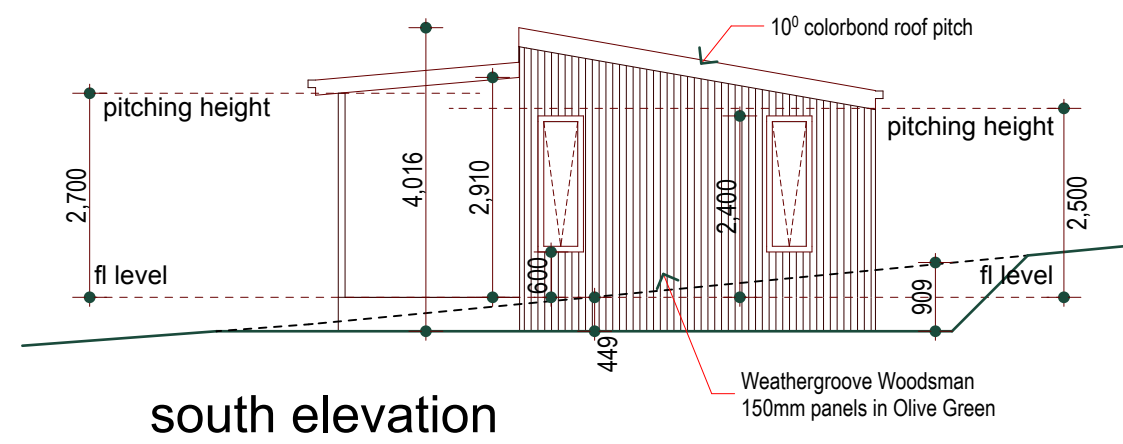
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PLUMBING DETAIL

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ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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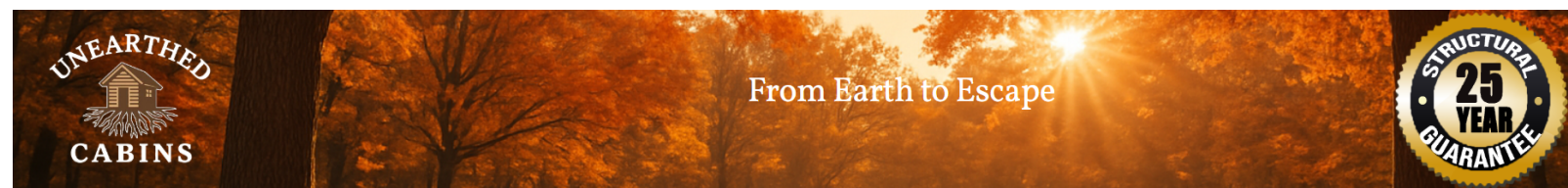
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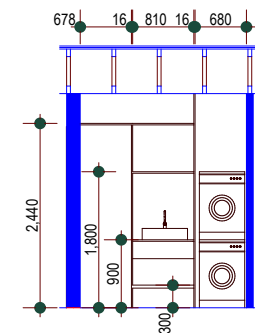
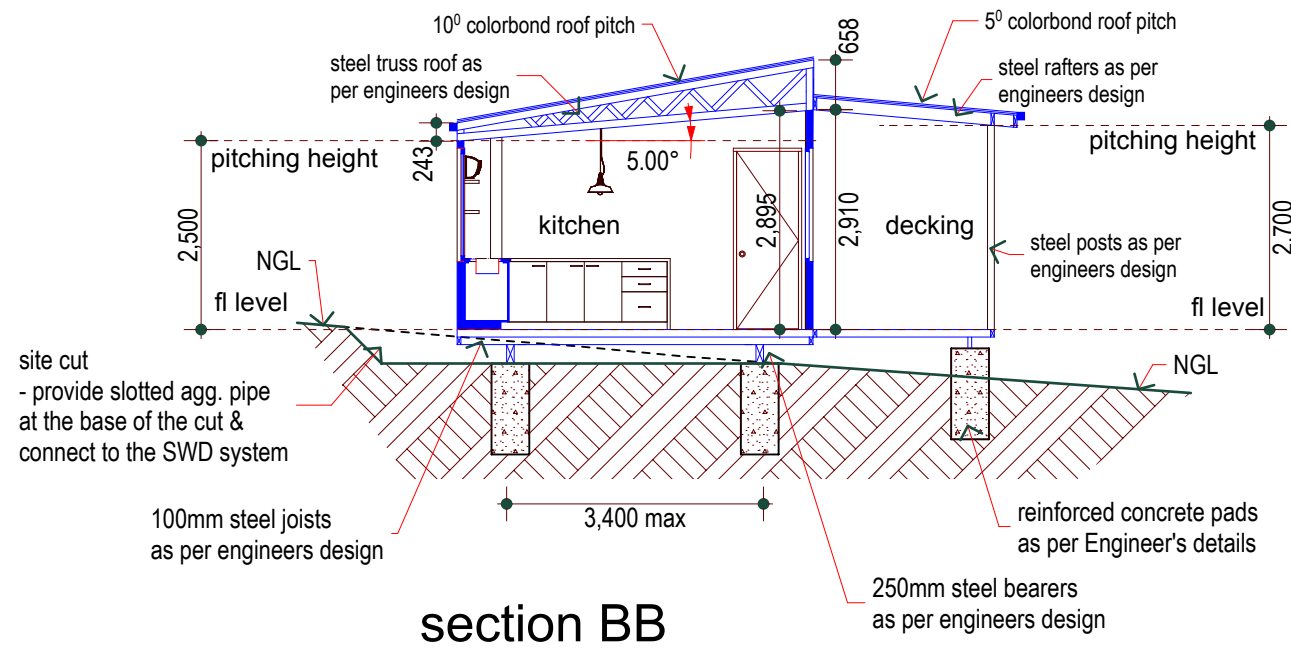
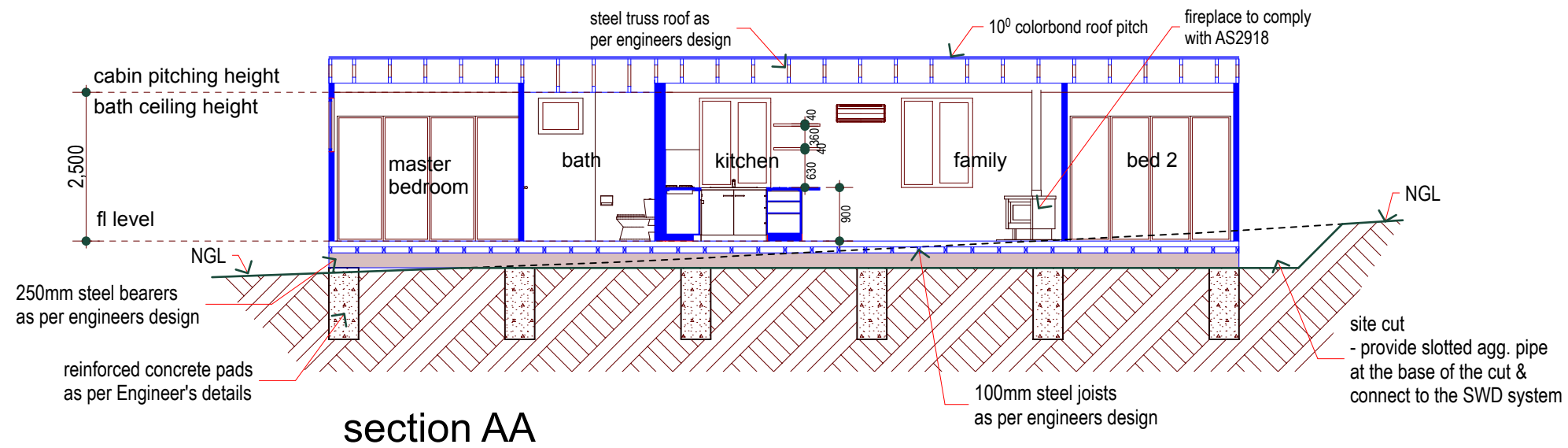
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ELEVATIONS

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ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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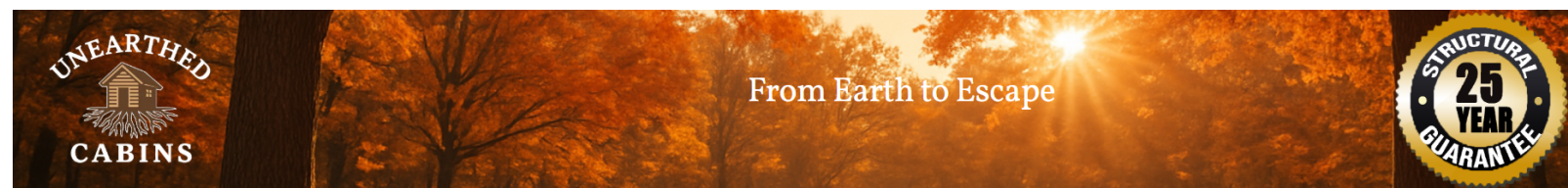
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SECTIONS

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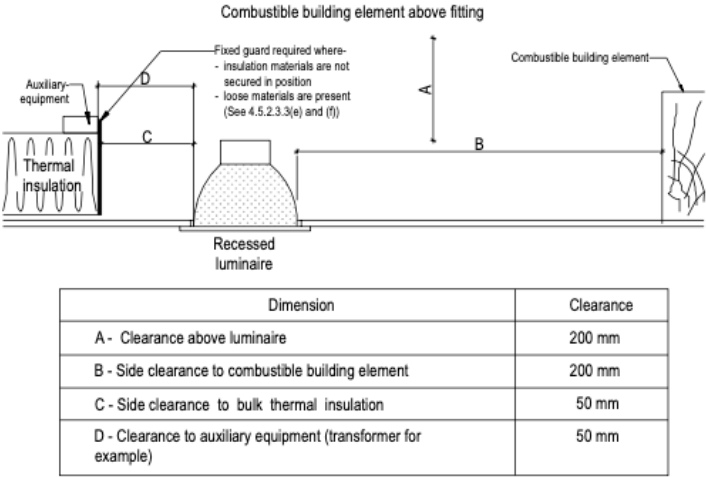
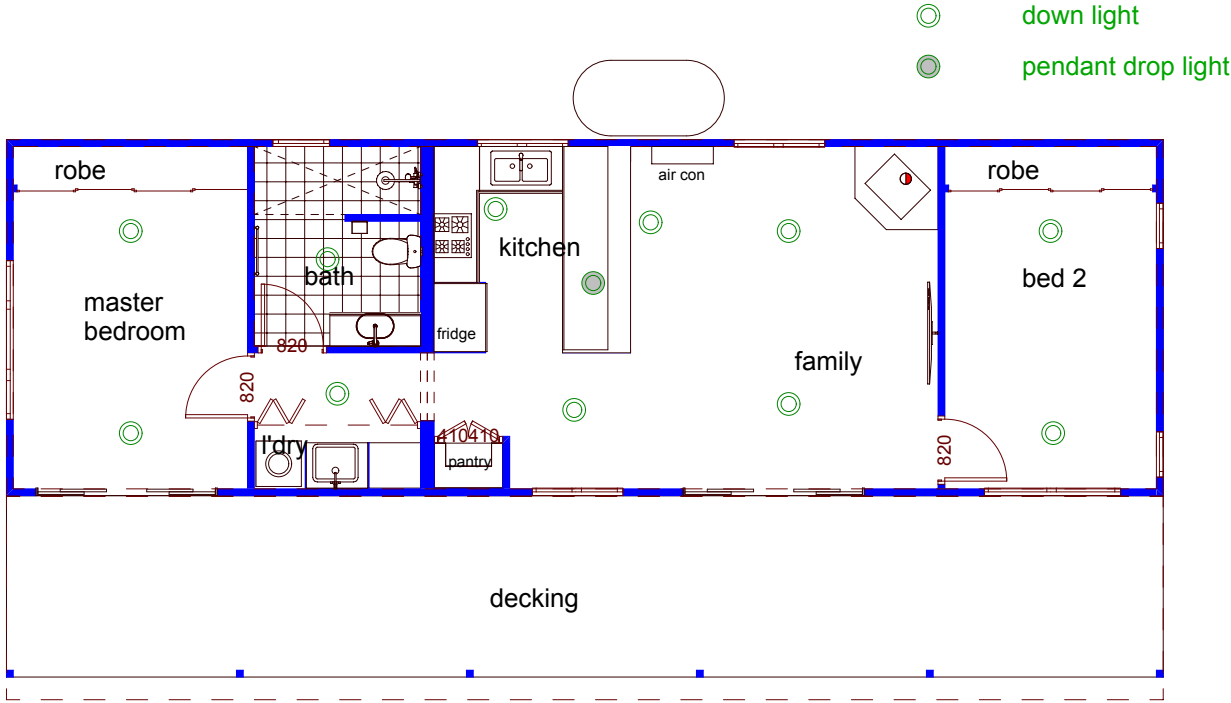


FIGURE 4.7 DEFAULT MINIMUM CLEARANCES FOR RECESSED LUMINAIRES

EXTRACT FROM AS/NZS 3000: DOWNLIGHT TO INSULATION CLEARANCE REQUIREMENTS

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Dzign Drafting Pty. Ltd.
ACN. 114 734 315
REG. No. DP AD 23817

mobile 0414 477 844
E-mail daniel@dzigndrafting.com.au

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Drawing
**LIGHTING LAYOUT
GROUND**

Date	Scale	Checked
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Ref. No.	Dwg No.	Revision
2437	09	WD



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 50 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 113.45 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: - all toilets in the development - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓	✓ ✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 4 star (cold zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 4 star (cold zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (cold zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (cold zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: photovoltaic collectors with the capacity to generate at least 6 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing east	✓	✓	✓



Statement of Compliance

Requirement	Achieved Requirement	Complies
Maximum Combined Heating and Cooling Load < 156 MJ / m ²	Combined Heating and Cooling Load Achieved 154.9 MJ / m ²	✓
Maximum Heating Load: < 149.8 MJ / m ²	Heating Load Achieved: 140.9 MJ / m ²	✓
Maximum Cooling Load: < 38.5 MJ / m ²	Cooling Load Achieved: 14.0 MJ / m ²	✓

NatHERS Energy Rating Specifications for dwellings

Construction of energy ratings was based on the below

Roofs	Pitched Roofs	- R6.0 added insulation at ceiling level plus one layer of reflective foil insulation - Thermal break material achieving an R-value greater than or equal to R0.2 to be provided separating the steel frame from the cladding or internal lining
	External Walls	R2.7 added insulation + 20mm PIR R1.0 rigid insulation
Walls	Internal Walls	R2.7 added insulation + 20mm PIR R1.0 rigid insulation
	Floors overhanging an external space	- R3.0 added insulation + R0.5 rigid insulation wrap - Thermal break material achieving an R-value greater than or equal to R0.2 to be provided separating the steel frame from the cladding or internal lining
Floors	All Glazing	- All sliding door glazing to have combined frame and glass values of U=2.95 and SHGC=0.61 - All awning glazing to have combined frame and glass values of U=2.99 and SHGC=0.48 - All fixed glazing to have combined frame and glass values of U=2.98 and SHGC=0.61
	Glazing Notes	Any glazing products may be used as long as the U-value does not exceed the values listed and the SHGC is within a 5% tolerance above or below the values listed



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mobile 0414 477 844
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Project

Proposed Cabin

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Nathers/Basix

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